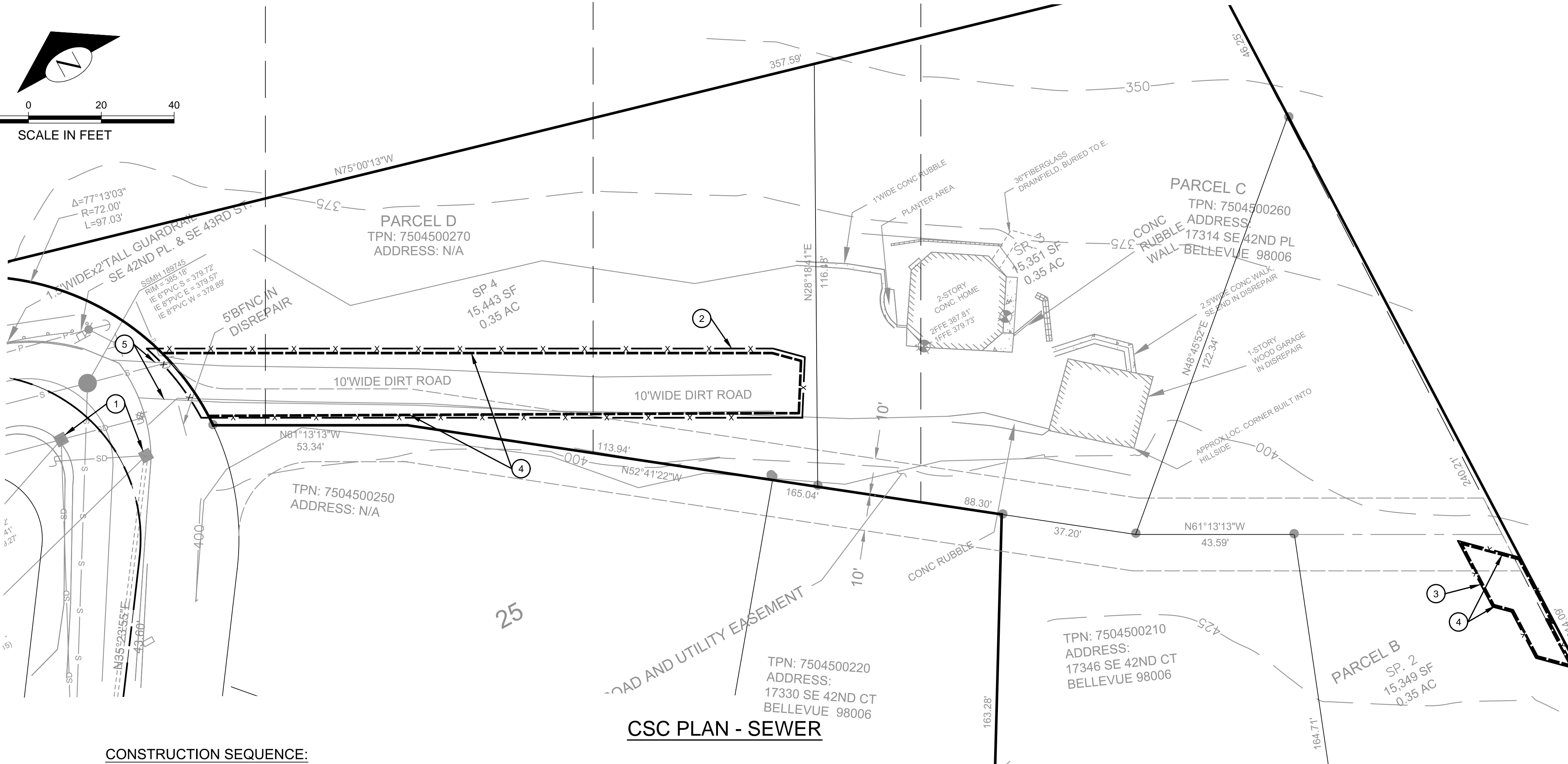
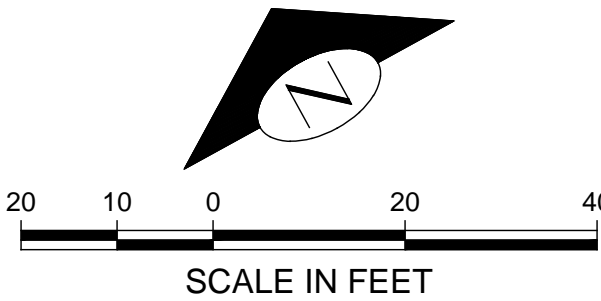


CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCDONALD CHRISTI\7314 SE 42ND PL BELLEVUE\DWG\DRAWING\7314 SE 42ND PL BELLEVUE.DWG  
LAST MODIFIED BY: KROGERS - SAVE DATE: 3/27/2020 4:42 PM - SHEET SET: 17314 SE 42ND PL BELLEVUE - ORIGINAL SHEET SIZE: ARCH FULL BLEED 0 (24.00 X 36.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017

## CESS PLAN - CITY OF BELLEVUE S13 24N R5E



### CSC PLAN - SEWER

#### CONSTRUCTION SEQUENCE:

- HOLD THE PRE-CONSTRUCTION MEETING.
- POST NOTICE OF CONSTRUCTION ACTIVITY SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
- FLAG OR FENCE CLEARING LIMITS.
- INSTALL CATCH BASIN PROTECTION.
- INSTALL CONSTRUCTION ENTRANCE (STANDARD GRAVEL OR EXISTING ASPHALT SHALL BE MAINTAINED FOR RESIDENTIAL VEHICLES WHERE DEPICTED)
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC).
- CONSTRUCT SEDIMENT TRAP.
- GRADE AND STABILIZE CONSTRUCTION ROADS.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF BELLEVUE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF BELLEVUE EROSION AND SEDIMENT CONTROL STANDARDS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- UPON REMOVAL OF TEMPORARY SEDIMENTATION TRAP, THE PERMANENT DETENTION VAULT WILL THEN BE UTILIZED AS THE TEMPORARY SEDIMENTATION COLLECTION DEVICE. WHILE USING THE PERMANENT DETENTION PIPE FOR SEDIMENTATION CONTROL, CLOSE THE OUTLET ORIFICES. AT THE COMPLETION OF CONSTRUCTION, THOROUGHLY CLEAN SEDIMENT FROM DETENTION VAULT AND OPEN THE OUTLET ORIFICE. CLEAN ALL CB'S DOWNSTREAM OF TEMP. SEDIMENT CONTROL DEVICE.

SEWER GRID #N-13  
UE PERMIT #18-132417

#### KEY NOTES:

KEY	NOTE:	DETAIL/ SHEET
1	STORM DRAIN INLET PROTECTION	BMP C220
2	387 LF SILT FENCE	BMP C223
3	105 LF SILT FENCE	BMP C223
4	LIMITS OF CLEARING, TYP.	-
5	UTILIZE EXISTING DRIVEWAY FOR CONSTRUCTION TRAFFIC. INSTALL STABILIZED CONSTRUCTION ENTRANCE PER BMP C105 IF REQUIRED BY INSPECTOR	BMP C105

#### GENERAL NOTE:

- SEE SHEET C04 FOR TESC GENERAL NOTES

#### SHEET INDEX

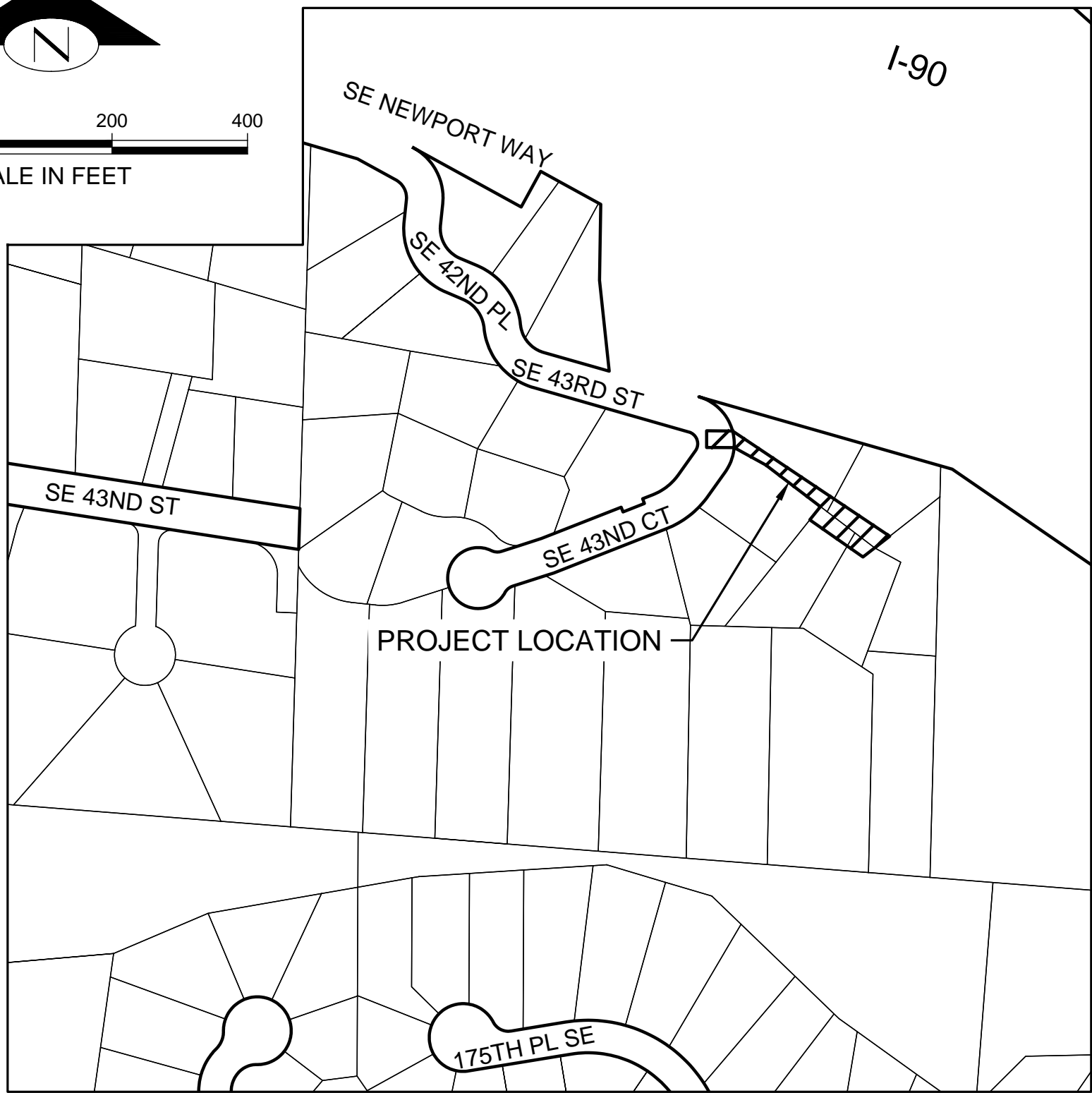
SHEET	DESCRIPTION
C01	CESS PLAN
C02	SITE PLAN B
C03	SEWER EXTENSION
C04	STANDARD NOTES

#### SITE DATA:

SITE ADDRESS: 17314 SE 42ND PL.  
BELLEVUE, WA 98006

TAX ACCOUNT NO.: 750450 0260

#### VICINITY MAP



#### HORIZONTAL DATUM

WASHINGTON COORDINATE SYSTEM NAD83/2011, NORTH ZONE  
BASED ON GPS RTK TIES TO:  
CITY OF BELLEVUE CONTROL POINTS:  
#3118 N 208669.852 E 1324986.375  
FOUND PUNCH ON 1-1/2" BRASS DISC ON CONC MON IN CASE BELOW RIM ON CL OF ROAD SE 45TH ST & 172ND AVE SE (HELD FOR POSITION)

#0446 N 208867.806 E 1326007.961  
FOUND PUNCH ON 2" BRASS DISC ON 4"x4" CONC MON IN CASE DOWN 1.0' BELOW RIM ON CL OF ROAD SE 45TH ST & 177TH AVE SE

DISTANCES ARE GROUND US SURVEY FEET WITH AN APPLIED COMBINED SCALE FACTOR OF 0.99996718907

#### VERTICAL DATUM

ORIGINATING BENCHMARK:  
CITY OF BELLEVUE MONUMENT ID. 0446, AS PUBLISHED IN CITY OF BELLEVUE BENCH MARK MONUMENT RECORD.  
VERTICAL DATUM: NAVD '88  
ELEVATION: 635.13'

TBM - A: TOP OF FOUND PUNCH ON 1 1/4" BRASS DISK "DEI 11914" ON 4"x4" CONC MON IN CASE, DN. 0.7' @ CTR CUL-DE-SAC  
ELEV = 428.48'

TBM - B: CHISELED "SQUARE" TOP OF CURB AT S. ANLE OF 10" CONC WALL & INTX. W/CURB  
ELEV = 457.68'

#### PROJECT CONTACT LIST:

OWNER/DEVELOPER: ESTATE OF MR. GORDON SCHROEDER  
1201 THIRD AVENUE #3400  
SEATTLE, WA 98101  
PHONE: (206) 654-2271

CIVIL ENGINEER/  
CONTACT: TIM GABELEN  
DAVIDO CONSULTING GROUP, LLC  
9706 4TH AVE NE  
SEATTLE, WA 98115  
PHONE: (206) 523-0024

SURVEYOR: AXIS SURVEYING  
APRIL 2014

#### UTILITY CONTACT LIST:

SANITARY SEWER: CITY OF BELLEVUE

WATER: CITY OF BELLEVUE

ELECTRIC: PUGET SOUND ENERGY  
PHONE: 1-800-321-4123

GAS: PUGET SOUND ENERGY  
PHONE: 1-800-321-4123

TELEPHONE: VERIZON  
CONTACT: MIKE FESKENS  
PHONE: 425-710-4111

No.	DATE	BY	REVISION
1	7/22/2019	TG	REVISIONS PER COB REVIEW COMMENTS
2	2/03/2020	BI	REVISIONS PER COB REVIEW COMMENTS

LEED ACCREDITED PROFESSIONAL & THE RELATED ARCHITECTURAL, ENGINEERING, AND CONSTRUCTION SERVICES ARE PROVIDED BY THE FIRM OWNED BY THE U.S. GREEN BUILDING COUNCIL & ARE AWARDED TO INDIVIDUALS UNDER LICENSE BY THE GREEN BUILDING CERTIFICATION INSTITUTE.

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206.523.0024  
F: 206.523.1012  
www.dcgengr.com

**DCG**  
civil structural

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

TIMOTHY W. GABELEN  
STATE OF WASHINGTON  
Professional Engineer  
No. 40000  
Exp. 12/31/2024

BASE MAP TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN & OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: RYAN, SWANSON, AND CLEVELAND, PLLC  
1201 3RD AVE, STE 3400  
SEATTLE, WA 98101

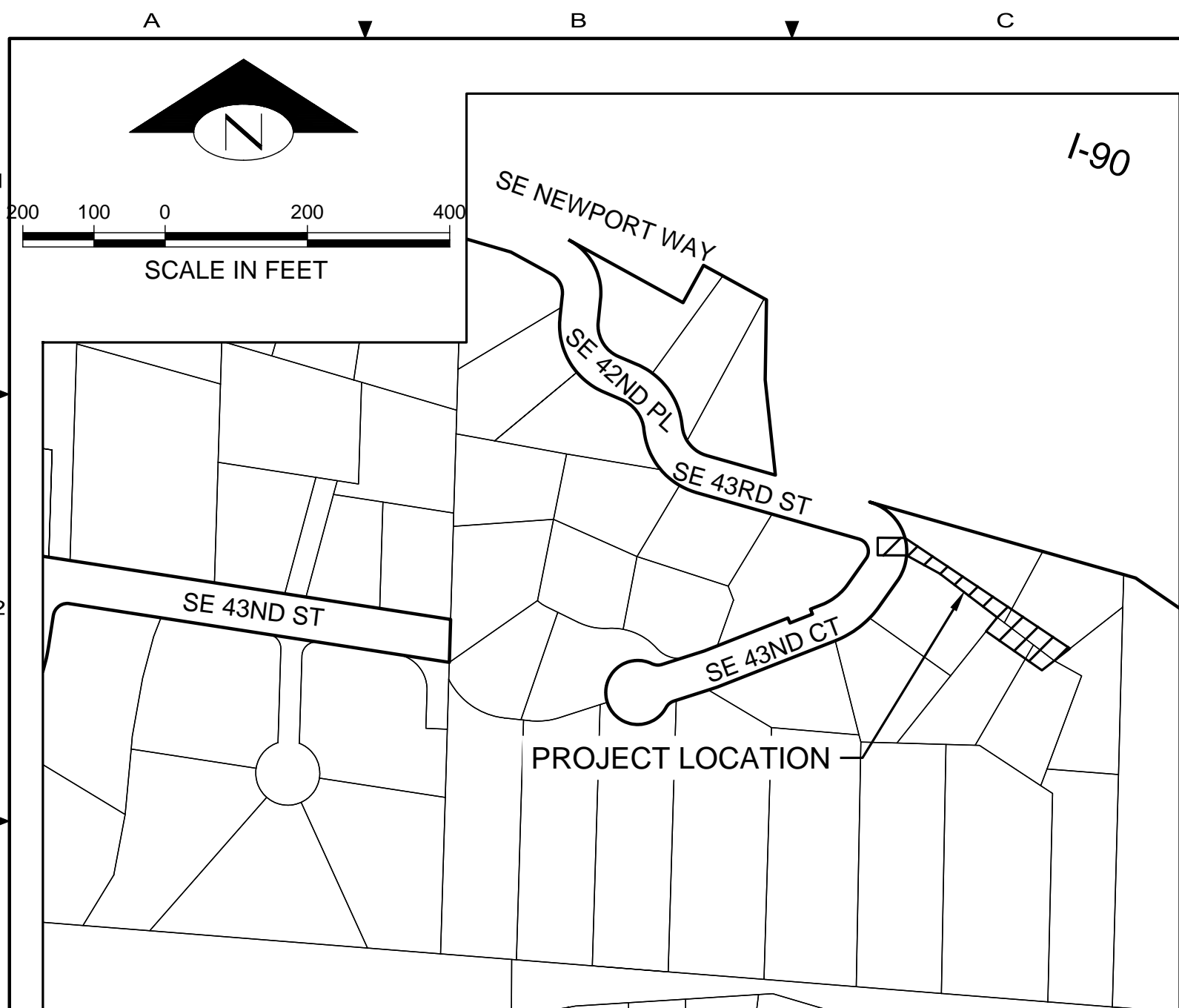
PROJECT: 42ND PLACE UTILITY EXTENSIONS  
17314 SE 42ND PL, BELLEVUE, WA 98101  
CESS PLAN

PROJ. MANAGER: KR  
DESIGNED BY: KR  
DRAWN BY: JS, KR  
CHECKED BY: BI

SCALE: AS SHOWN  
DATE: 3/30/2020  
REV: 2  
SHEET: 4

SHEET NUMBER  
**C01**

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCDONALD CHRISTI\7314 SE 42ND PL BELLEVUE\DWG\DRAWING\7314 SE 42ND PL BELLEVUE.DWG  
LAST MODIFIED BY: KROGERS - SAVE DATE: 3/27/2020 4:45 PM - SHEET SET: 17314 SE 42ND PL BELLEVUE - ORIGINAL SHEET SIZE: ARCH FULL BLEED 0 (24.00 X 36.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017



VICINITY MAP

SCHEDULE B TITLE NOTES

8. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON PLAT OF ST. FRANCIS WOOD.

9. RESERVATIONS OF OIL, COAL, GAS AND MINERALS AND/OR MINERAL RIGHTS OF ANY NATURE, AND RIGHT OF ENTRY TO EXPLORE SAME, CONTAINED IN THE DEED RECORDED JULY 2, 1951, UNDER RECORDING NUMBER 4149645. (THE COMPANY MAKES NO REPRESENTATIONS ABOUT THE PRESENT OWNERSHIP OF THESE RESERVED AND EXCEPTED INTERESTS.)

10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: PURPOSE: ROADWAY, RECORDED JANUARY 25, 1955, UNDER RECORDING NUMBER 4532918, AFFECTS: AS DESCRIBED THEREIN, CONFIRMATION OF EASEMENT AND MAINTENANCE AGREEMENT RECORDED UNDER RECORDING NUMBERS 7608310801 AND 7608310802. (AS PLOTTED HEREON, AFFECTS A PORTION OF THE NORTHERLY 20 FEET)

11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: PUGET SOUND POWER & LIGHT COMPANY, PURPOSE: ELECTRIC TRANSMISSION AND DISTRIBUTION LINE, RECORDED JUNE 16, 1958, UNDER RECORDING NUMBER 4911773, (AFFECTS THE NORTHERLY PORTION OF PROPERTY)

12. BOUNDARY AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED JULY 3, 1968, UNDER RECORDING NUMBER 6371723, (AFFECTS THE NORTHERLY PORTION OF PROPERTY)

13. DEED AND AGREEMENT ESTABLISHING EASEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED JULY 5, 1968, UNDER RECORDING NUMBER 6372430, (AS PLOTTED HEREON, AFFECTS A PORTION OF THE NORTHERLY 20 FEET)

14. PERMISSIVE USE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED DECEMBER 13, 1972, UNDER RECORDING NUMBER 7212130548 AND 7212130549, (LOCATION UNKNOWN)

15. COVENANTS, CONDITIONS, RESTRICTIONS, RECITALS, RESERVATIONS, EASEMENTS, EASEMENT PROVISIONS, DEDICATIONS, BUILDING SETBACK LINES, NOTES AND STATEMENTS, IF ANY, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH ON SHORT PLAT: RECORDING NO. 7507010538. (DOES NOT AFFECT PROPERTY)

16. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: CITY OF BELLEVUE, PURPOSE: WATER LINE(S), RECORDED MAY 28, 1976, UNDER RECORDING NUMBER 7605280671, AFFECTS: AS DESCRIBED THEREIN, (DOES NOT AFFECT PROPERTY)

17. PERMISSIVE USE AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED MARCH 28, 1984, UNDER RECORDING NUMBER 8403280084, (LOCATION UNKNOWN)

18. A RECORD OF SURVEY AND MATTERS RELATING THERETO: RECORDED JUNE 28, 1991, UNDER RECORDING NUMBER 9106289006, (2"x2" HUB SET ON PROPERTY LINE)

19. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: CITY OF BELLEVUE, PURPOSE: SANITARY SEWER PIPELINE, RECORDED JULY 8, 1996, UNDER RECORDING NUMBER 9607080881, AFFECTS: AS DESCRIBED THEREIN, (DOES NOT AFFECT PROPERTY)

20. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED JULY 16, 1997, UNDER RECORDING NUMBER 9707161130, (NOT PLOTTABLE)

21. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED OCTOBER 21, 1999, UNDER RECORDING NUMBER 19991021000431 (AFFECTS LOT 17, NOT PLOTTABLE) AND 19991021000432 (DOES NOT AFFECT PROPERTY).

22. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED APRIL 17, 2001, UNDER RECORDING NUMBER 20010417002542, (NOT PLOTTABLE)

23. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED MAY 24, 2002, UNDER RECORDING NUMBER 20020524002508, (NOT PLOTTABLE)

24. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED OCTOBER 17, 2002, UNDER RECORDING NUMBER 20021017000901, (AFFECTS A PORTION OF THE WESTERLY PROPERTY)

25. MUTUAL EASEMENT AGREEMENT AND THE TERMS AND CONDITIONS THEREOF: RECORDED JUNE 30, 2006, UNDER RECORDING NUMBER 20060630002522, (NOT PLOTTABLE)

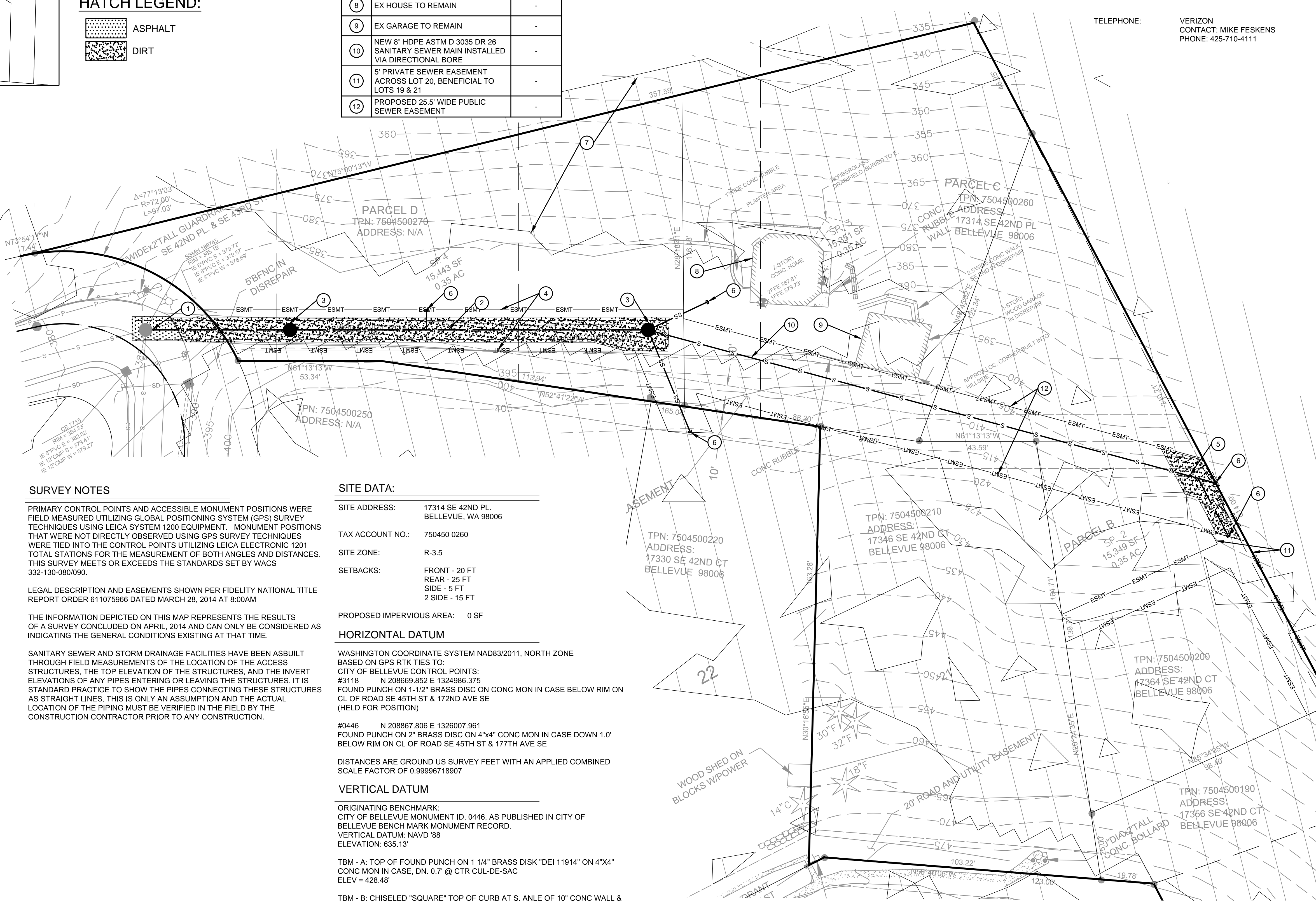
26. RIGHTS OF THE PUBLIC TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND IN THE REASONABLE ORIGINAL GRADING OF STREETS, AVENUES, ALLEYS AND ROADS, AS DISCLOSED IN THE PLAT.

SITE PLAN B - CITY OF BELLEVUE  
S13 24N R5E

KEY NOTES:		
KEY	NOTE:	DETAIL/ SHEET
1	8" CONNECTION TO EX MANHOLE	-
2	NEW 8" PVC ASTM D-3034 SDR 35 SEWER MAIN EXTENSION	COB STD DTL S-15
3	NEW 48" SEWER MANHOLE	COB STD DTL S-1 & S-1A
4	PROPOSED 15' WIDE PUBLIC SEWER EASEMENT	-
5	SEWER CLEANOUT	COB STD DTL S-16
6	LATERAL STUB FOR FUTURE CONNECTION TO SEWER MAIN	COB STD DTL S-17A
7	STEEP SLOPE ECA BOUNDARY PER COB GIS (TYP)	-
8	EX HOUSE TO REMAIN	-
9	EX GARAGE TO REMAIN	-
10	NEW 8" HDPE ASTM D 3035 DR 26 SANITARY SEWER MAIN INSTALLED VIA DIRECTIONAL BORE	-
11	5' PRIVATE SEWER EASEMENT ACROSS LOT 20, BENEFICIAL TO LOTS 19 & 21	-
12	PROPOSED 25.5' WIDE PUBLIC SEWER EASEMENT	-

HATCH LEGEND:

	ASPHALT
	DIRT



SURVEY NOTES

PRIMARY CONTROL POINTS AND ACCESSIBLE MONUMENT POSITIONS WERE FIELD MEASURED UTILIZING GLOBAL POSITIONING SYSTEM (GPS) SURVEY TECHNIQUES USING LEICA SYSTEM 1200 EQUIPMENT. MONUMENT POSITIONS THAT WERE NOT DIRECTLY OBSERVED USING GPS SURVEY TECHNIQUES WERE TIED INTO THE CONTROL POINTS UTILIZING LEICA ELECTRONIC 1201 TOTAL STATIONS FOR THE MEASUREMENT OF BOTH ANGLES AND DISTANCES. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS SET BY WACS 332-130-080/090.

LEGAL DESCRIPTION AND EASEMENTS SHOWN PER FIDELITY NATIONAL TITLE REPORT ORDER 611075996 DATED MARCH 28, 2014 AT 8:00AM

THE INFORMATION DEPICTED ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY CONCLUDED ON APRIL, 2014 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.

SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ASBUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.

SITE DATA:

SITE ADDRESS: 17314 SE 42ND PL, BELLEVUE, WA 98006

TAX ACCOUNT NO.: 750450 0260

SITE ZONE: R-3.5

SETBACKS: FRONT - 20 FT  
REAR - 25 FT  
SIDE - 5 FT  
2 SIDE - 15 FT

PROPOSED IMPERVIOUS AREA: 0 SF

HORIZONTAL DATUM

WASHINGTON COORDINATE SYSTEM NAD83/2011, NORTH ZONE  
BASED ON GPS RTK TIES TO:  
CITY OF BELLEVUE CONTROL POINTS:  
#3118 N 208869.852 E 1324986.375  
FOUND PUNCH ON 1'-1/2" BRASS DISC ON CONC MON IN CASE BELOW RIM ON CL OF ROAD SE 45TH ST & 172ND AVE SE (HELD FOR POSITION)

#0446 N 208867.806 E 1326007.961  
FOUND PUNCH ON 2" BRASS DISC ON 4"x4" CONC MON IN CASE DOWN 1.0' BELOW RIM ON CL OF ROAD SE 45TH ST & 177TH AVE SE

DISTANCES ARE GROUND US SURVEY FEET WITH AN APPLIED COMBINED SCALE FACTOR OF 0.99996718907

VERTICAL DATUM

ORIGINATING BENCHMARK:  
CITY OF BELLEVUE MONUMENT ID, 0446, AS PUBLISHED IN CITY OF BELLEVUE BENCH MARK MONUMENT RECORD.  
VERTICAL DATUM: NAVD '88  
ELEVATION: 635.13'

TBM - A: TOP OF FOUND PUNCH ON 1 1/4" BRASS DISK "DEI 11914" ON 4"x4" CONC MON IN CASE, DN. 0.7' @ CTR CUL-DE-SAC  
ELEV = 428.48'

TBM - B: CHISELED "SQUARE" TOP OF CURB AT S. ANLE OF 10" CONC WALL & INTX. W/CURB  
ELEV = 457.68'

LEGAL DESCRIPTION

PARCEL A (TPN 7504500190):  
LOT A, KING COUNTY SHORT PLAT NO. 475087, RECORDED UNDER RECORDING NUMBER 7507010538, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL B (TPN 7504500200):  
LOT B, KING COUNTY SHORT PLAT NO. 475087, RECORDED UNDER RECORDING NUMBER 7507010538, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL C (7504500260):  
LOT C, KING COUNTY SHORT PLAT NO. 475087, RECORDED UNDER RECORDING NUMBER 7507010538, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL D (7504500270):  
LOT D, KING COUNTY SHORT PLAT NO. 475087, RECORDED UNDER RECORDING NUMBER 7507010538, RECORDS OF KING COUNTY, WASHINGTON.

PARCEL E (TPN 7504500210):  
LOT 21, ST. FRANCIS WOOD, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 86 OF PLATS, PAGES 17 AND 18, RECORDS OF KING COUNTY, WASHINGTON.

PROJECT CONTACT LIST:

OWNER/DEVELOPER: ESTATE OF MR. GORDON SCHROEDER  
1201 THIRD AVENUE #3400  
SEATTLE, WA 98101  
PHONE: (206) 654-2271

CIVIL ENGINEER/ CONTACT: TIM GABEIN  
DAVIDO CONSULTING GROUP, LLC  
9706 4TH AVE NE  
SEATTLE, WA 98115  
PHONE: (206) 523-0024

SURVEYOR: AXIS SURVEYING  
APRIL 2014

UTILITY CONTACT LIST:

SANITARY SEWER: CITY OF BELLEVUE

WATER: CITY OF BELLEVUE

ELECTRIC: PUGET SOUND ENERGY  
PHONE: 1-800-321-4123

GAS: PUGET SOUND ENERGY  
PHONE: 1-800-321-4123

TELEPHONE: VERIZON  
CONTACT: MIKE FESKENS  
PHONE: 425-710-4111

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206.523.0024  
F: 206.523.1012  
www.cdgeri.com

**DCG**  
civil structural

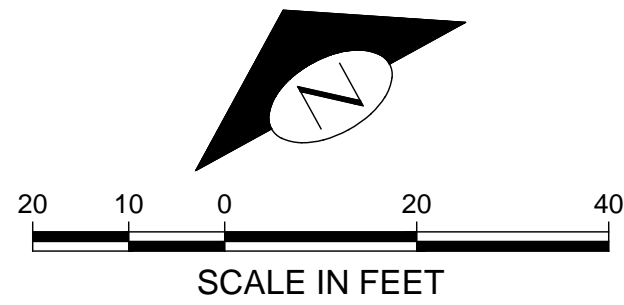
CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, AGR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: RYAN, SWANSON, AND CLEVELAND, PLLC  
1201 3RD AVE, STE 3400  
SEATTLE, WA 98101  
PROJECT: 42ND PLACE UTILITY EXTENSIONS  
17314 SE 42ND PL, BELLEVUE, WA 98101  
SITE PLAN B

PROJ. MANAGER: KR  
DESIGNED BY: KR  
DRAWN BY: JS, KR  
CHECKED BY: BI  
SCALE: AS SHOWN  
DATE: 3/30/2020  
REV: 2  
SHEET: 4  
SHEET NUMBER: C02

SEWER EXTENSION - CITY OF BELLEVUE  
S13 24N R5E



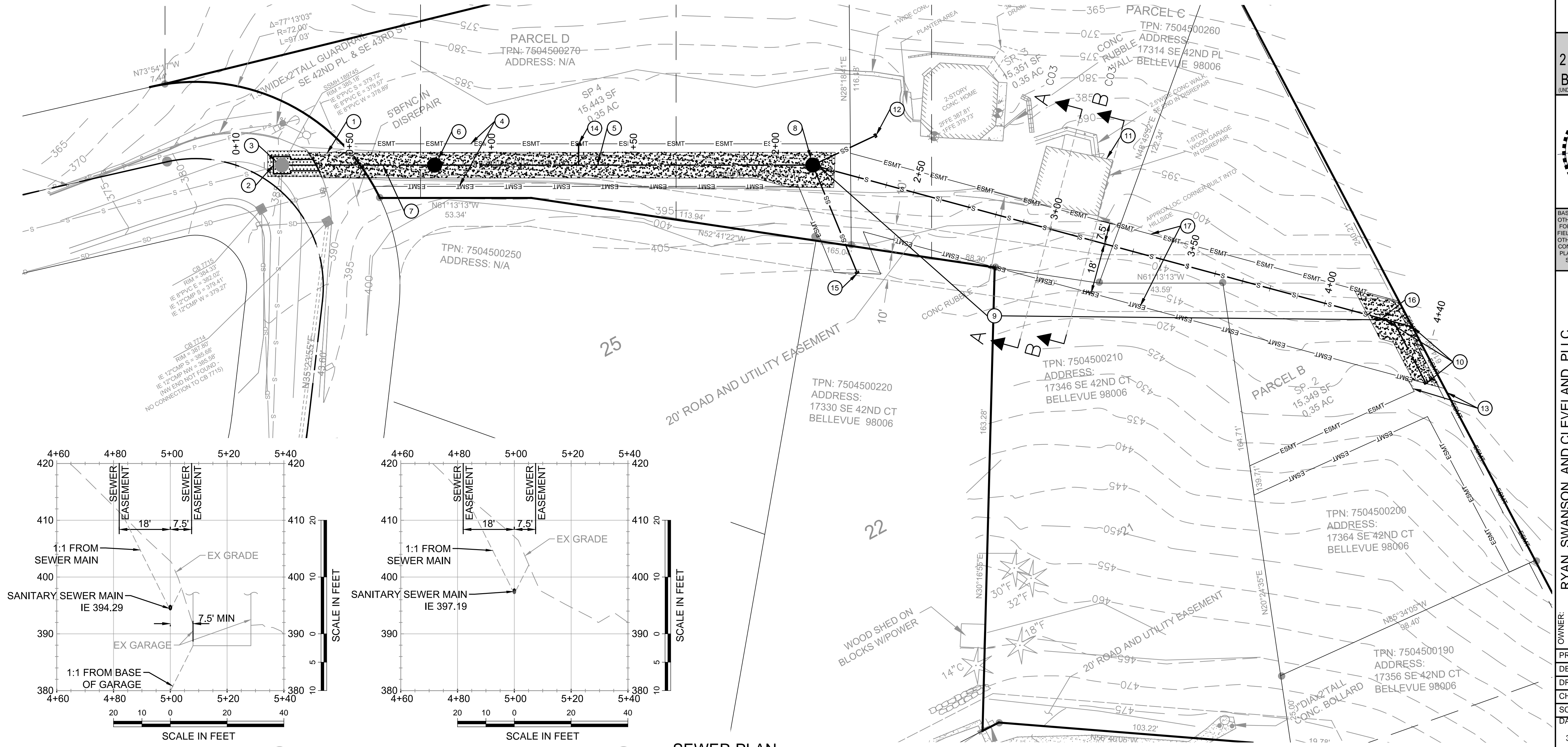
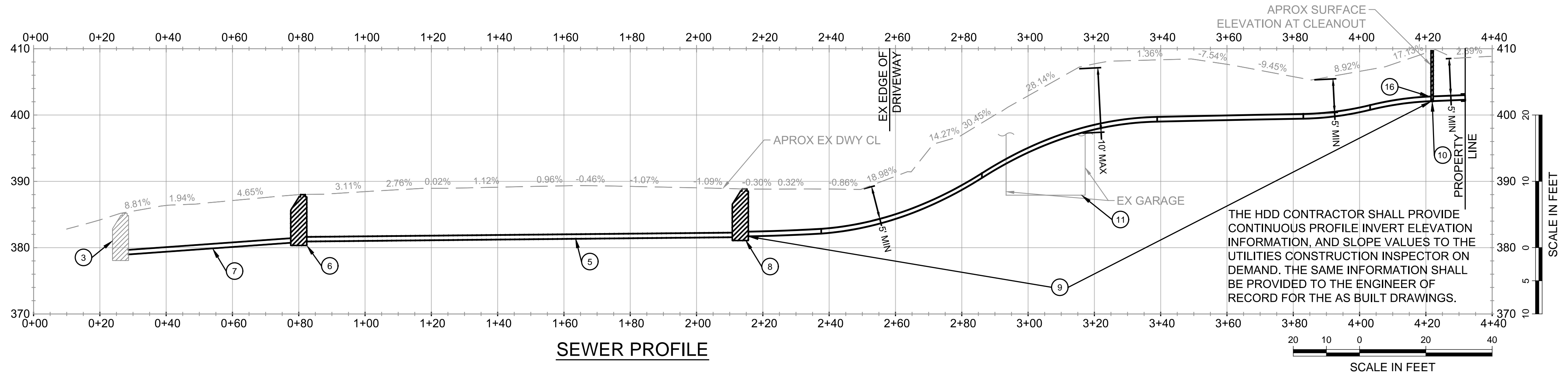
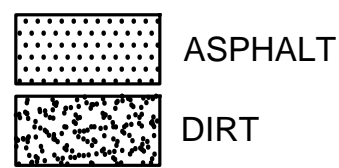
KEY NOTES:

KEY	NOTE:	DETAIL/ SHEET
1	REMOVE EX 6" PRIVATE JOINT USE SANITARY SEWER PIPE FOR LOT D AND LOT 25.	-
2	SAWCUT OR NEAT LINE CUT EXISTING PAVING FOR TRENCH. PAVEMENT RESTORATION PER CITY OF BELLEVUE REQUIREMENTS	-
3	CORE DRILL & RECHANNEL EXISTING MANHOLE SSMH #189745. ROTATE MANHOLE CONE & LID IF REQ'D TO PROVIDE LANDING AT BOTTOM OF MANHOLE. EX LADDER TO BE RELOCATED IF CONE IS ROTATED RIM 385.18 IE 6" PVC S 379.72 IE 8" PVC E 379.57 (RETIRED) IE 8" PVC E 378.99 IE 8" PVC W 378.89	-
4	PROPOSED 15' WIDE PUBLIC SEWER EASEMENT	-
5	129 LF 8" PVC ASTM D-3034 SDR 35 SANITARY SEWER MAIN @ 0.50%	-
6	48" SSMH #1 RIM 388.00± PROVIDE MINIMUM 5' Ø LEVEL AREA AROUND MANHOLE LID 8" IE (NW) 380.93 8" IE (SE) 380.83	COB STD DTL S-1
7	50 LF 8" PVC ASTM D-3034 SDR 35 SANITARY SEWER MAIN @ 3.58%	-
8	48" SSMH #2 RIM 388.75± PROVIDE MINIMUM 5' Ø LEVEL AREA AROUND MANHOLE LID 6" IE (E) 381.70 6" IE (SW) 381.70 8" IE (SE) 381.70 8" IE (NW) 381.60	COB STD DTL S-1
9	FUTURE CONNECTION TO BE HORIZONTAL DIRECTIONALLY DRILLED TO STUB. 207 LF 8" HDPE ASTM D 3035 DR 26 SANITARY SEWER MAIN SLOPE VARIES, 1.00% MIN RADIUS 180' MIN COVER 5.0' MAX DEPTH 10.0'	-
10	8" SCO #1 RIM 409.69± 8" IE 402.08 PROVIDE 5" STUB 8" PVC ASTM D-3034 SDR 35 @ 2.00% WITH GASKETED CAP FOR FUTURE CONNECTION FOR: LOT 21 (7504500210) PARCEL B (7504500200) 8" STUB IE 402.50 CONNECTION POINT AT SCO#1 TO BE HAND-EXCAVATED. NO MACHINE EXCAVATION SHALL BE PERMITTED WITHIN THE STEEP SLOPE ECA	COB STD DTL S-16
11	EX GARAGE TO REMAIN	-
12	NEW 6" PVC LATERAL FOR FUTURE LOT 26 CONNECTION FG 388.43 6" IE 382.25	COB STD DTL S-17A
13	5" PRIVATE SEWER EASEMENT ACROSS LOT 20, BENEFICIAL TO LOTS 19 & 21	-
14	NEW 6" PVC LATERAL FOR FUTURE LOT 27 CONNECTION FG 388.45 6" IE 382.75	COB STD DTL S-17A
15	NEW 6" PVC LATERAL FOR FUTURE LOT 22 CONNECTION FG 408.25 6" IE 402.25	COB STD DTL S-17A
16	INSTALL HDPE TO PVC ADAPTER PRIOR TO CLEANOUT. POLY-CAM SERIES 730 NOMINAL 8" Ø OR APPROVED EQUAL	-
17	PROPOSED 25.5' WIDE PUBLIC SEWER EASEMENT	-

GENERAL NOTE:

- SEE SHEET C04 FOR CITY OF BELLEVUE SANITARY SEWER GENERAL NOTES

HATCH LEGEND:



SEWER PLAN

SEWER GRID #N-13  
UE PERMIT #18-132417

REVISION	BY	DATE	REVISIONS PER COB REVIEW COMMENTS
1	TG	7/22/2019	REVISIONS PER COB REVIEW COMMENTS
2	BI	2/03/2020	REVISIONS PER COB REVIEW COMMENTS

LEED ACCREDITED PROFESSIONAL & THE RELATED INFORMATION, AND SLOPE VALUES TO THE UTILITIES CONSTRUCTION INSPECTOR ON DEMAND. THE SAME INFORMATION SHALL BE PROVIDED TO THE ENGINEER OF RECORD FOR THE AS BUILT DRAWINGS.

LEED AP

9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206.523.0024  
F: 206.523.1012  
www.dcgengr.com

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
UNDERGROUND UTILITY LOCATIONS ARE APPROX.

TIMOTHY W. GABER  
STATE OF WASHINGTON  
Professional Engineer  
No. 12000004  
Exp. 12/31/2024  
REG. 12/31/2024

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, ACR PLANS CANNOT BE CONSTRUCTED AS SHOWN. CONTACT DCG PRIOR TO CONSTRUCTION.

OWNER: RYAN, SWANSON, AND CLEVELAND, PLLC  
1201 3RD AVE, STE 3400  
SEATTLE, WA 98101

PROJECT: 42ND PLACE UTILITY EXTENSIONS  
17314 SE 42ND PL, BELLEVUE, WA 98101  
SEWER EXTENSION

PROJ. MANAGER: KR  
DESIGNED BY: KR  
DRAWN BY: JS, KR  
CHECKED BY: BI

SCALE: AS SHOWN  
DATE: 3/30/2020  
REV. 2  
SHEET 4  
SHEET NUMBER

C03

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCDONALD CHRISTI\7314 SE 42ND PL BELLEVUE\DWG\DRAWING\7314 SE 42ND PL BELLEVUE.DWG  
LAST MODIFIED BY: KROGERS - SAVE DATE: 3/27/2020 4:42 PM - SHEET SET: 17314 SE 42ND PL BELLEVUE - ORIGINAL SHEET SIZE: ARCH FULL BLEED 0 (24.00 X 36.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017

S13 24N R5E

STANDARD NOTES FOR EROSION CONTROL PLANS

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPIILING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

SANITARY SEWER GENERAL PLAN NOTES


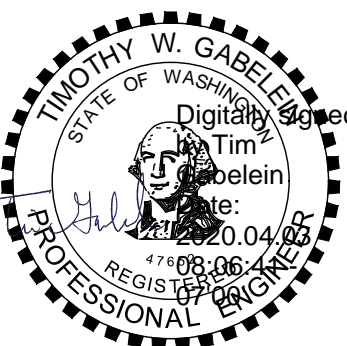
- ALL WORK SHALL CONFORM TO THE 2018 CITY OF BELLEVUE UTILITY ENGINEERING STANDARDS AND THE DEVELOPER EXTENSION AGREEMENT.
- ALL NEW MANHOLES SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48" AND SHALL CONFORM TO THE STANDARD DETAILS.
- SANITARY SEWER PIPE SHALL BE PVC CONFORMING TO ASTM D-3034 SDR 35 (4"-15") OR ASTM F-679 (18"-27"). BEDDING AND BACKFILL SHALL BE AS SHOWN IN THE STANDARD DETAILS.
- WHERE SHOWN AS C900 PVC, THE SEWER PIPE SHALL HAVE DIMENSION RATIO (DR 18) AND CONFORM TO AWWA C900 OR AWWA C905.
- ALL SIDE SEWERS SHALL BE 6" DIAMETER PIPE AT A MINIMUM 2% SLOPE, UNLESS OTHERWISE NOTED ON THE STANDARD DETAILS.
- SIDE SEWER STATIONS ARE REFERENCED FROM NEAREST DOWNSTREAM MANHOLE.
- LOT CORNERS MUST BE SET AND SIDE SEWER LOCATIONS VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL SIDE SEWER STUBS SHALL BE CAPPED WITH A WATERTIGHT CAP AND GASKET. CAP LOCATION SHALL BE MARKED WITH A 2 X 4 STAKE, 12 FEET LONG, WITH ONE END BURIED AT DEPTH OF THE CAP INVERT AND EXTENDING AT LEAST 3 FEET VERTICALLY OUT OF THE GROUND. THE PORTION OF STAKE ABOVE GROUND SHALL BE PAINTED WHITE AND MARKED WITH THE WORD "SEWER" AND THE DEPTH FROM PIPE INVERT TO GROUND SURFACE. CONNECT PIPE TO STAKE WITH AN 8-GAUGE WIRE AT OR ABOVE FINISHED GROUND LEVEL.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN HEREON HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN, AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREIN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN. IMMEDIATELY NOTIFY THE ENGINEER IF A CONFLICT EXISTS.
- ALL TESTING AND CONNECTIONS TO EXISTING MAINS SHALL BE DONE IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.
- ALL TRENCHES SHALL BE COMPACTED, AND HMA IN PLACE IN PAVED AREAS, PRIOR TO TESTING SEWER LINES FOR ACCEPTANCE.
- SIDE SEWER STUBS SHALL BE TESTED FOR ACCEPTANCE AT THE SAME TIME THE MAIN SEWER IS TESTED.
- TOPS OF MANHOLES WITHIN PUBLIC RIGHTS-OF-WAY SHALL NOT BE ADJUSTED TO FINAL GRADE UNTIL JUST PRIOR TO PAVING.
- ALL MANHOLES IN UNPAVED AREAS SHALL INCLUDE A CONCRETE SEAL AROUND ADJUSTING RINGS PER STANDARD DETAIL.
- CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FLUSH WITH FINAL FINISHED GRADES, UNLESS OTHERWISE SHOWN.
- ALL SEWER MAIN EXTENSIONS WITHIN THE PUBLIC RIGHT-OF-WAY OR IN EASEMENTS MUST BE "STAKED" BY A SURVEYOR LICENSED IN WASHINGTON STATE FOR "LINE AND GRADE" AND CUT SHEETS PROVIDED TO THE ENGINEER, PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL INSTALL, AT ALL CONNECTIONS TO EXISTING DOWNSTREAM MANHOLES, SCREENS OR PLUGS TO PREVENT FOREIGN MATERIALS FROM ENTERING EXISTING SANITARY SEWER SYSTEM. SCREENS OR PLUGS SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION AND SHALL BE REMOVED ALONG WITH COLLECTED DEBRIS AT THE TIME OF FINAL INSPECTION AND IN THE PRESENCE OF A REPRESENTATIVE OF THE CITY OF BELLEVUE UTILITIES DEPARTMENT.

18. SURFACE RESTORATION OF EXISTING ASPHALT PAVEMENT

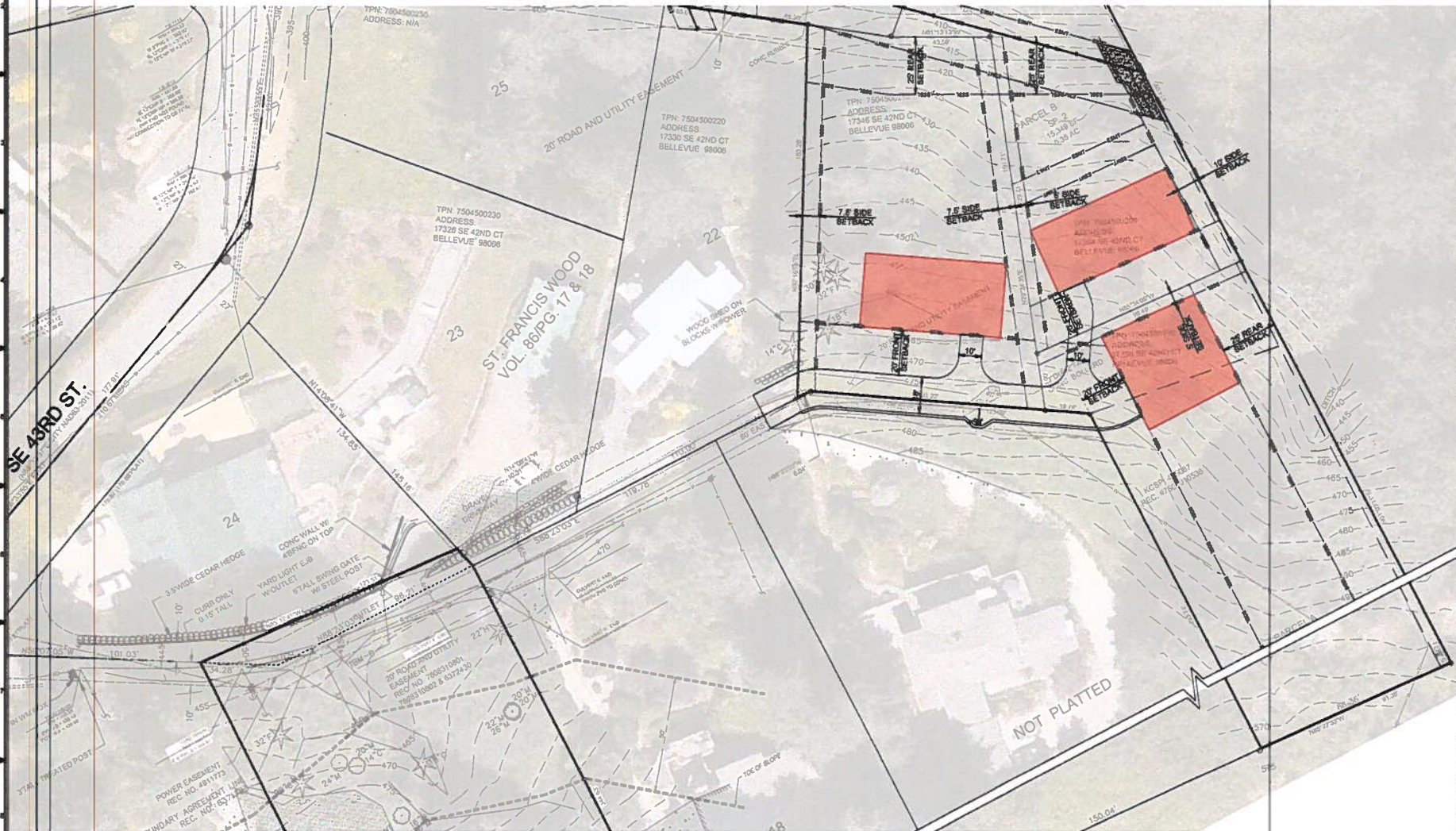
SHALL BE AS REQUIRED BY THE RIGHT-OF-WAY USE PERMIT.

- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF TEN FEET (10') HORIZONTAL SEPARATION BETWEEN ALL WATER AND SEWER LINES. ANY CONFLICTS SHALL BE REPORTED TO THE UTILITY AND THE ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL ENSURE AND VERIFY THAT NO CONFLICTS EXIST BETWEEN SANITARY SEWER LINES AND PROPOSED OR EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- MINIMUM COVER OVER SEWER PIPE SHALL BE FIVE FEET, UNLESS OTHERWISE SHOWN.
- THE CONTRACTOR SHALL USE A VACUUM STREET SWEEPER TO REMOVE DUST AND DEBRIS FROM PAVEMENT AREAS AS DIRECTED BY THE ENGINEER.
- NOT USED.
- SIDE SEWER DEMOLITION SHALL BE PERFORMED PRIOR TO REMOVAL OF BUILDING FOUNDATION. THE SIDE SEWER FOR EACH BUILDING SHALL BE ABANDONED FROM THE BUILDING CONNECTION TO THE EDGE OF THE PUBLIC RIGHT-OF-WAY, OR PROPERTY LINE. THE CONTRACTOR SHALL CAP THE END OF THE SIDE SEWER STUB TO REMAIN IN PLACE. SIDE SEWER DEMOLITION SHALL BE PERFORMED IN THE PRESENCE OF THE CITY OF BELLEVUE SEWER MAINTENANCE ENGINEERING TECHNICIAN.
- AVOID CROSSING WATER OR SEWER MAINS AT HIGHLY ACUTE ANGLES. THE SMALLEST ANGLE MEASURE BETWEEN UTILITIES SHOULD BE 45 TO 90 DEGREES.
- AT POINTS WHERE EXISTING THRUST BLOCKING IS FOUND, MINIMUM CLEARANCE BETWEEN THE CONCRETE BLOCKING AND OTHER BURIED UTILITIES OR STRUCTURES SHALL BE 5 FEET.
- WHERE NEW UTILITY LINE CROSSES BELOW AN EXISTING AC MAIN, THE AC PIPE SHALL BE REPLACED WITH DI PIPE TO 3 FEET PAST EACH SIDE OF THE TRENCH AS SHOWN ON STANDARD DETAIL W-8. ALTERNATIVELY, WHERE DIRECTED BY THE ENGINEER, THE TRENCH MAY BE BACKFILLED WITH CONTROLLED DENSITY FILL (CDF, AKA FLOWABLE FILL) FROM BOTTOM OF TRENCH TO BOTTOM OF THE AC MAIN.
- CALL 1-800-424-5555, OR 811, 72 HOURS BEFORE CONSTRUCTION FOR UTILITY LOCATES.
- MANHOLES, CATCH BASINS AND VAULTS ARE CONSIDERED TO BE PERMIT-REQUIRED CONFINED SPACES. ENTRY INTO THESE SPACES SHALL BE IN ACCORDANCE WITH CHAPTER 296-809 WAC.
- THE CONTRACTOR SHALL PROVIDE COLOR CCTV EQUIPMENT SHALL INCLUDE TELEVISION CAMERAS, A TELEVISION MONITOR, CABLES, POWER SOURCES, SIDE-LAUNCH CAPABLE IF NECESSARY, AND OTHER EQUIPMENT. FOCAL DISTANCE SHALL BE ADJUSTABLE THROUGH A RANGE FROM 6 INCHES TO INFINITY. THE CCTV EQUIPMENT SHALL INCLUDE A DISTANCE MEASURING INSTRUMENT (DMI) TO MEASURE THE HORIZONTAL DISTANCE TRAVELED BY THE CAMERA. THE DMI READOUT SHALL APPEAR CONTINUOUSLY ON THE VIDEO PRODUCED BY THE INSPECTION AND SHALL BE ACCURATE TO LESS THAN 1 PERCENT ERROR OVER THE LENGTH OF THE SECTION OF PIPELINE BEING INSPECTED. FOR STORM OR SANITARY SEWERS, THE LENGTH IS MEASURED FROM THE CENTERLINE OF THE MANHOLE OR CATCH BASIN TO THE CENTERLINE OF THE NEXT MANHOLE OR CATCH BASIN.

SEWER GRID #N-13  
UE PERMIT #18-132417

REVISION		BY		DATE	REVISIONS PER COB REVIEW COMMENTS		REVISIONS PER COB REVIEW COMMENTS	
No.			Δ	7/22/2019	Δ	2/03/2020	Δ	
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						LEED™ AP		
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CALL 811 2 BUSINESS DAYS BEFORE YOU DIG <small>UNDERGROUND UTILITY LOCATIONS ARE APPROX.</small>								
								
<small>BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, &amp; ALL OTHER EX FEATURES &amp; CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN &amp;/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO CONSTRUCTION.</small>								
OWNER:			RYAN, SWANSON, AND CLEVELAND, PLLC 1201 3RD AVE, STE 3400 SEATTLE, WA 98101					
PROJECT:			42ND PLACE UTILITY EXTENSIONS 17314 SE 42ND PL, BELLEVUE, WA 98101 STANDARD NOTES					
PROJ. MANAGER:			KR					
DESIGNED BY:			KR					
DRAWN BY:			JS, KR					
CHECKED BY:			BI					
SCALE:			AS SHOWN					
DATE:			3/30/2020		REV. 2		SHEET 4 OF 4	
SHEET NUMBER			C04					

**S13 24N R5E**



No.	DATE	BY	REVISION
1	7/22/2019	TG	REWORKING PER OUR REVIEW COMMENTS
2	8/26/2019	BR	REWORKING PER OUR REVIEW COMMENTS

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Seattle, WA 98115  
P: 206.523.0024

DCG

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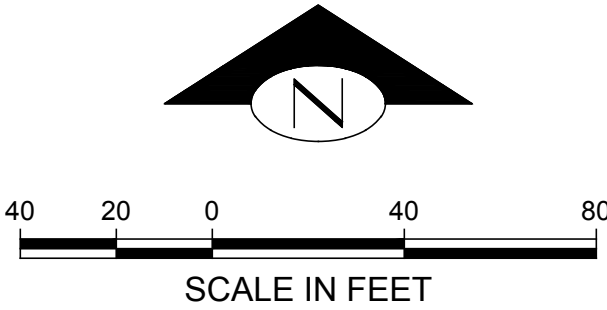
UNIFORMS CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL VERIFY SPACES, UTILITIES, & ALL OTHER ICE FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN, NO PLAN CANNOT BE CONSIDERED AS SHOWN. CONTRACTOR DES PERS TO CORRECTING ERRORS.

ANSON, AND CLEVELAND, PLLC  
201 3RD AVE, STE 3400  
SEATTLE, WA 98101

42ND PLACE UTILITY EXTENSIONS  
17314 SE 42ND PL., BELLEVUE, WA 981  
SITE PLAN B

OWNER:	PROJECT:
PROJ. MANAGER:	AR
DESIGNED BY:	AR
DRAWN BY:	AS, AR
CHECKED BY:	IS
SCALE:	AS SHOWN
DATE:	REV. BY:
10/21/2020	2 OF

C02



SITE DATA:

PROPOSED IMPERVIOUS AREA: 0 SF

PROJECT CONTACT LIST:

AXIS SURVEYING  
APRIL 2014

## UTILITY CONTACT LIST

SANITARY SEWER: CITY OF BELLEVUE

WATER: CITY OF BELLEVUE

ELECTRIC: PUGET SOUND ENERGY

GAS: PUGET SOUND ENERGY  
PHONE: 1-800-321-4123

TELEPHONE: VERIZON  
CONTACT: MIKE FESKENS  
PHONE: 425-710-4111

## VICINITY MAP

## SCHEDULE B TITLE NOTES

26. RIGHTS OF THE PUBLIC TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON THE LAND IN THE REASONABLE ORIGINAL GRADING OF STREETS, AVENUES, ALLEYS AND ROADS, AS DISCLOSED IN THE PLAT.

## SURVEY NOTES

SANITARY SEWER AND STORM DRAINAGE FACILITIES HAVE BEEN ABSUILT THROUGH FIELD MEASUREMENTS OF THE LOCATION OF THE ACCESS STRUCTURES, THE TOP ELEVATION OF THE STRUCTURES, AND THE INVERT ELEVATIONS OF ANY PIPES ENTERING OR LEAVING THE STRUCTURES. IT IS STANDARD PRACTICE TO SHOW THE PIPES CONNECTING THESE STRUCTURES AS STRAIGHT LINES. THIS IS ONLY AN ASSUMPTION AND THE ACTUAL LOCATION OF THE PIPING MUST BE VERIFIED IN THE FIELD BY THE CONSTRUCTION CONTRACTOR PRIOR TO ANY CONSTRUCTION.

## LEGAL DESCRIPTION

PARCEL E (TPN 7504500210):  
LOT 21, ST. FRANCIS WOOD, ACCORDING TO THE PLAT THEREOF  
RECORDED IN VOLUME 86 OF PLATS, PAGES 17 AND 18, RECORDS  
KING COUNTY, WASHINGTON.

## HORIZONTAL DATUM

CITY OF BELLEVUE CONTROL

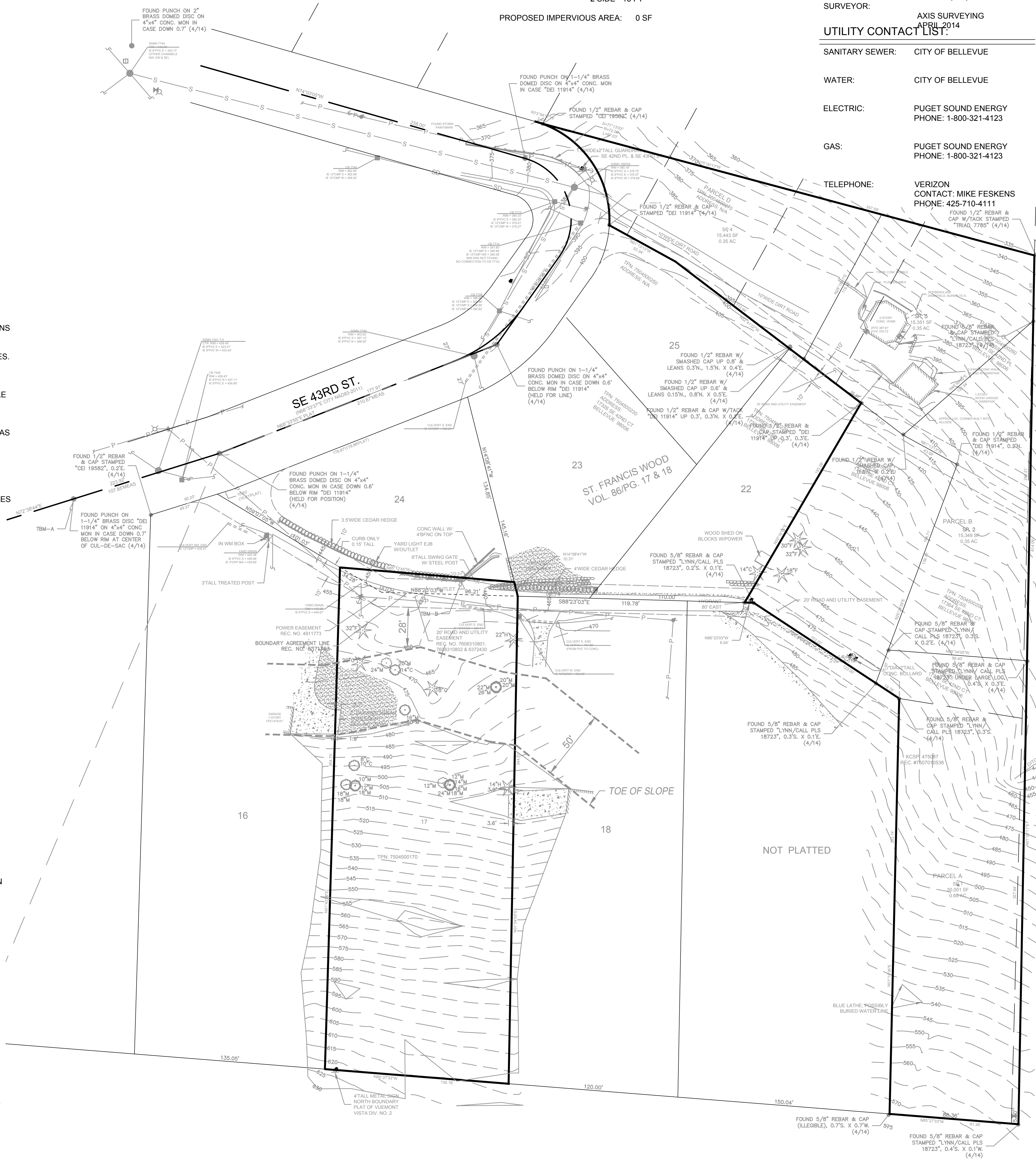
#0446 N 208867.806 E 1326007.961  
FOUND PUNCH ON 2" BRASS DISC ON 4"x4" CONC MON IN CASE DOWN 1.0'  
BELOW RIM ON CL OF ROAD SE 45TH ST & 177TH AVE SE

DISTANCES ARE GROUND US SURVEY FEET WITH AN APPLIED COMBINED  
SCALE FACTOR OF 0.99996718907


## VERTICAL DATUM

TBM - A: TOP OF FOUND PUNCH ON 1 1/4" BRASS DISK "DEI 11914" ON 4"x4"  
CONC MON IN CASE, DN. 0.7' @ CTR CUL-DE-SAC  
ELEV = 428.48'

TBM - B: CHISELED "SQUARE" TOP OF CURB AT S. ANGLE OF 10" CONC WALL &  
INTX. W/CURB  
ELEV = 457.68'



No.	DATE	BY	REVISION
△			
△			
△			



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**D | C | G**  
civil structural

**CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG**  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. DCG CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, & ALL OTHER EX FEATURES & CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN &/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT DCG PRIOR TO

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**SEATTLE, WA 98101**

RYRAN, SWANSON, AND CLEVELAND, PLLC  
1201 3RD AVE, STE 3400  
SEATTLE, WA 98101

---

42ND PLACE UTILITY EXTENSIONS  
17314 SE 42ND PL, BELLEVUE, WA 98101  
EXISTING CONDITIONS PLAN

PROJ. MANAGER:		KR
DESIGNED BY:		KR
DRAWN BY:		JS, KR
CHECKED BY:		BI
SCALE:		AS SHOWN
DATE:	REV.	SHEET
11/11/2020	1	1 OF 1
SHEET NUMBER		

# C01

CAD FILE NUMBER: P:\CLIENTS\CIVIL\MCDONALD CHRIS\17314 SE 42ND PL BELLEVUE\DWG  
LAST MODIFIED BY: KROGERS - SAVE DATE: 11/17/2020 10:48 AM - SHEET SET: 17314 SE 42ND PL BELLEVUE - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES)  
AUTOCAD VERSION: CIVIL 3D 2017